

TERRITORIAL AUTHORITY PIM CIRCULATION SHEET

OWNER: Battaglione
 AGENT: _____

CONSENT NO: 080936P
 ON ACCOUNT: YES / NO

FORMALLY RECEIVED DATE		BUILDING	ASSETS	PLANNING	TA SIGNATORY	T/LEADER STAT CHECK
<u>2/7/08</u>	DEADLINE DATE	<u>14-7-08</u>				
	INITIAL & DATE	<u>De 11-7-08</u>			<u>vf 11/07/08</u>	

TYPE OF WORK: SFH

PIM FEE PAID: \$ —

SITE CONDITIONS:
 E'QUAKE: B SNOW: 0.45 kPa WIND: 44 ALTITUDE: 60 CORROSION: 2

PROCESS SIGN OFFS	INITIAL & DATE		
PREVIEWED BY:	<u>VS 2/7/08</u>		
LOADED BY:	<u>DS 10-7-08</u>		
ENVIRONMENT CANTERBURY CONTAMINATION INFORMATION PROVIDED:-			
A COMPLETE COPY OF THE PIM IS TO BE SENT TO THE FOLLOWING PARTIES WHEN ISSUED:			
		YES	NO
PLANNING: (Address for service required)	HISTORIC PLACES TRUST		
	LOCAL IWI		
BUILDING:	FOOD & HEALTH		✓
	ORION		✓
OTHER:			
PIM SENT OUT TO ALL PARTIES IDENTIFIED ABOVE WITH ALL ATTACHMENTS BY:		<u>vf 11/07/08</u>	

ATTACHMENTS:	
PROPERTY MAP	✓
WATER RACE MAP	—
WATER SUPPLY MAP	✓
PIPED STORMWATER MAP	—
SEWER MAP	✓
EXISTING / AS BUILT DRAINAGE PLAN	7
RM CERTIFICATE	
DEVELOPMENT CONTRIBUTION NOTICE	
OTHER (specify):	
Water Connection Form	

ASSETS:	
SEWER	
STORMWATER	
WATER	
HAZARDS	
ENTRANCES	
PIM COMPLETED	

CHECKSHEET, FURTHER INFORMATION & FILE NOTES TO BE ATTACHED TO THIS PAGE.

SCANNED

080702027



BUILDING CONSENT / PIM APPLICATION

UNDER THE BUILDING ACT 2004

180936 + P

Private Bag 1, Leeston | Telephone (03) 324 5839 | Fax (03) 324 3531 | Web Site www.selwyn.govt.nz

THE BUILDING

NOTE:- ONLY COMPLETE ITEMS IN SHADED PANELS THAT ARE APPLICABLE TO YOUR PROJECT.

(refer to your Rates Account for details)

1. Site Address: 42 A GORGE ST
ROLLESTON Street / Road

Rapid Number: _____
(Applies to Rural Properties Only)

2. Legal description: LOT 2 DP 359723 BLK
III LEESTON SD

(This could include all or any of the following:- Lot, DP, Section, Block, or Township, etc.)

Valuation Roll Number: 2405133601

3. Building Name: _____
(Eg: Universities, etc where buildings have Official Names)

4. Location of Building within Site: _____
(Only Applicable to Sites such as Universities, Schools, etc)

5. Number of Levels: _____ 6. Level/Unit No: _____

7. Total Floor Area for New Work Only: _____ m²
Site coverage will be assessed by planning staff.

8. Current Lawfully Established Use: (Eg. Use on any Previous Consent for the existing building)

9. Year Building First Constructed: _____
(Only Applicable to Existing Buildings, Approximate Date is Acceptable Eg., 1920s or 1960-1970).

THE OWNER

10. Owner's Name: Angela & Daryl Battaglione
(Company or organizational name)

11. Contact Person: Angela Battaglione (nee Williams)
(If Owner is not an Individual)

12. Mailing Address: 42a George St, Rolleston
Canterbury

13. Street Address / Registered Office: as above

14. Phone Numbers: Mobile: 021437873
Daytime: 3473125 After Hours: _____

15. Fax: 3473125

16. Email: _____

17. Website: _____

18. The following evidence of ownership is attached to this application:

- ☒ Current Certificate of Title
☐ Current Sale and Purchase Agreement

AGENT / APPLICANT

(Contact Details MUST be in New Zealand)

19. Name of Agent: _____

20. Contact Person: _____

21. Mailing/Billing Address: _____

22. Street Address / Registered Office: _____

23. Phone Numbers: Mobile: _____
Daytime: _____ After Hours: _____

24. Fax: _____

25. Email: _____

26. Website: _____

27. ☐ Authorisation from Owner Attached.
(Authorisation from the owner confirming authority)

28. Note: The Agent will be the first point of contact for communications with the Council / Building Consent Authority regarding this Application / Building Work and will receive all correspondence including all invoices.

APPLICATION

For Office Use Only

29. I Request that a: ☐ Project Information Memorandum Only (PIM)
☐ Building Consent for PIM No: _____
☒ Building Consent (including Project Information Memorandum)

be issued for the Building Work Described in this Application.

THE PROJECT

30. Type of Building Work: (eg dwelling, commercial, farm shed, garage, etc)

Installation of pellet fire

31. Will the Building Work Result in a Change of Use of the Building: ☐ Yes ☒ No

32. If 'Yes', Provide Details of the New Intended Use:
(Eg domestic use, shop, implement shed, garage to bedroom)

33. Intended Life of the Building:

- ☒ Indefinite but not less than 50 years
☐ Or Specified as _____ years

34. List Building Consents Previously Issued for This Building (If Any): (ie., Is this project being constructed in stages?, Is this consent for a Relocated or Transportable Building?)

35. Estimated Value (Inc GST) \$ 4000 —
(ie., the estimated aggregate of the values of all goods and services to be supplied for the building work and includes GST).

PROJECT INFORMATION MEMORANDUM

(This Section must be completed if you are applying for a PIM. DO NOT Complete this section if the Application is for a Building Consent Only)

36. The following matters are involved in the project: (Tick appropriate boxes that apply to your project)

- | | |
|---|---|
| ☐ Subdivision | ☐ Alterations to land contours |
| ☐ New or altered connections to public utilities | ☐ New or altered locations and/or external dimensions of buildings |
| ☐ New or altered access for vehicles | ☐ Disposal of stormwater and wastewater |
| ☐ Building work over or adjacent to any road or public place | ☐ Other matters known to the applicant that may require authorisations from the Territorial Authority (Eg. Planning Approvals, other Licenses) |
| ☐ Building work over any existing drains or in close proximity to wells or water mains | |

(Specify): _____

The following documents are attached to this application:-

- ☐ Site Plan, Floor Plans, and Elevations of the proposed building.
☐ Application Fee of \$200.00. (Refer (a) on Back Page of this Form)

BUILDING CONSENT

(DO NOT Complete this section if the Application is for a Project Information Memorandum Only)

37. The following documents are attached to this application:-

- ☒ A Schedule of all the plans, specifications, and other documentation supplied with this application is attached.
☒ Two copies of Plans and Specifications for the Project. (NOTE:- THREE Copies will be required for Commercial Projects)
☐ Project Information Memorandum.
☐ Development Contribution Notice. (If Applicable)
☐ Certificate attached to Project Information Memorandum. (Resource Management Act)
☐ Specific arrangements for multiple or unusual Inspections documented.
☐ Application Deposit Fee of \$200.00. (Refer (b) on Back Page of this Form)

38. ☐ A Schedule as a separate document confirming the Building Work will comply with the Building Code set out as follows:

Clause
(list relevant Clause
numbers of Building Code)

Means of Compliance
(refer to relevant compliance document(s) or detail
of alternative solution in the plans and specification)

Waiver/Modification Required
(state nature of waiver or modification of
Building Code required)

NOTE:- ONLY COMPLETE ITEMS IN SHADED PANELS THAT ARE APPLICABLE TO YOUR PROJECT.

COMPLIANCE SCHEDULE

(DO NOT Complete this section if the Application is for a Project Information Memorandum Only)

39. ☐ The specified systems for the building are as follows:

40. ☐ The following specified systems are being altered, added to, or removed in the course of the building work
(Specify):

41. ☐ There are no specified items in the building.

SIGNATORY

Signed by or for and on behalf of the Owner/Applicant



Owner



or Agent/Applicant

Date: _____

Note: if acting "for and on behalf", please read the following declaration before signing:- "I hereby declare that I am authorised to act as Agent of the Applicant".

NOTES BY APPLICANT

Other notes or comments which you as the applicant may wish to add

NOTE:- ONLY COMPLETE ITEMS IN SHADED PANELS THAT ARE APPLICABLE TO YOUR PROJECT.

Project Information Memorandum**080936P****Section 34, Building Act 2004****Application**

Owner:	D J BATTAGLENE & A J WILLIAMS	Issue date	11/07/08
42A GEORGE STREET		Formally Received Date	2/07/08
ROLLESTON			

Project

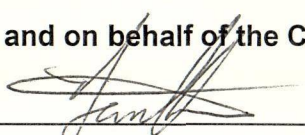
Description	ANCILLARY Being Stage 1 of an intended 1 Stages SOLID FUEL HEATER
Intended Life	Indefinite, but not less than 50 years
Intended Use	Heating - Natures Flame Enviro EF5 Evolution freestanding Pellet Fire
Estimated Value	\$4,000
Location	42A GEORGE STREET, ROLLESTON
Legal Description	LOT 2 DP 359723 BLK III LEESTON SD
Valuation No.	2405133601

Building work can proceed following formal notification of Building Consent Approval being received from the Selwyn District Council Building Consent Authority and approvals being obtained from the agencies identified in this project information memorandum.

This Project Information Memorandum does NOT constitute a Building Consent.

Signed for and on behalf of the Council:

Name:



Date: 11/07/08

Building Department Comments

Building Control Officer: - J Lilley

Site Constraints

The following design criteria are indicated as being acceptable on and around the proposed construction site.

Earthquake Zone	:	B (as per NZS3604)
Snow Load (Sg)	:	0.45 kPa (as per NZS4203)
Site Wind Speed	:	44 m/s (High) (as per NZS3604)
Altitude	:	60 m (amsl)
Corrosion	:	2 (as per NZS3604)

Special Land Features

Ground bearing capacity on this site should meet the requirements of the NZ Building Code Section B1 without a subsoil investigation being carried out.

This site is located within the Rolleston Township well protection zone.

Other Information

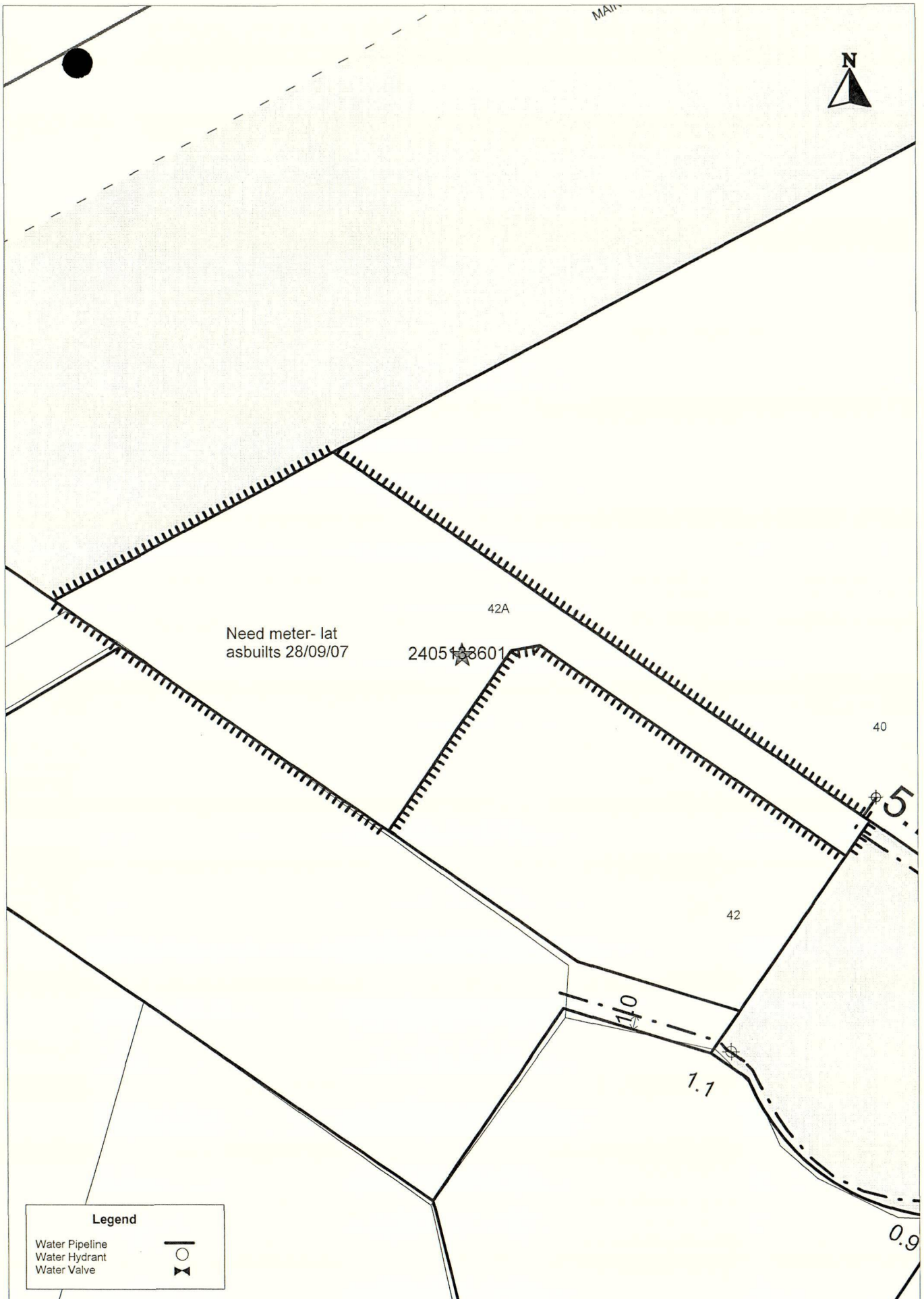
Further approvals and other permits may be required from other authorities such as:-

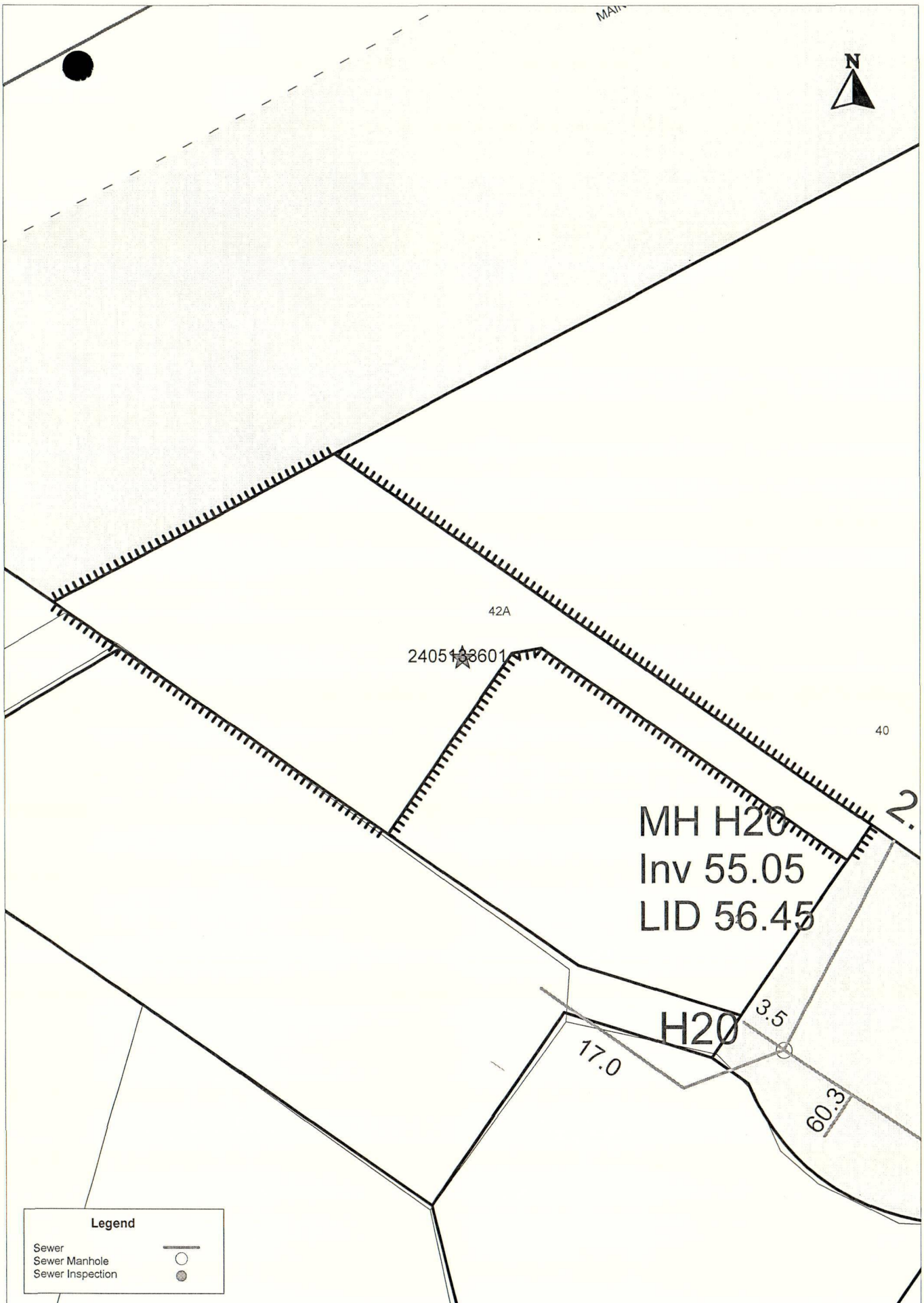
Environment Canterbury

☐ Solid Fuel Heaters

Evidence that all such approvals have been obtained must be provided at the time of Building Consent lodgement.









**COMPUTER FREEHOLD REGISTER
UNDER LAND TRANSFER ACT 1952**



R. W. Muir
Registrar-General
of Land

Search Copy

Identifier **242920**
Land Registration District **Canterbury**
Date Issued **15 December 2005**

Prior References
3488

Estate Fee Simple
Area 563 square metres more or less
Legal Description Lot 2 Deposited Plan 359723
Proprietors
Darryl James Battaglione and Angela Jacinta Williams

Interests

110032.1 Gazette Notice declaring No. 1 State Highway (Awarui-Bluff) fronting the within land to be a limited access road - 15.12.1976 at 9:25 am
5901128.5 Consent Notice pursuant to Section 221 Resource Management Act 1991 - 17.2.2004 at 9:00 am
Subject to a right (in gross) to convey electric power over parts marked A, B and C on DP 359723 in favour of Orion New Zealand Limited created by Transfer 5901128.7 - 17.2.2004 at 9:00 am
The easement created by Transfer 5901128.7 is subject to Section 243 (a) Resource Management Act 1991
Subject to a right (in gross) to convey telephonic communications over parts marked B and D on DP 359723 in favour of Telecom New Zealand Limited created by Transfer 5901128.8 - 17.2.2004 at 9:00 am
The easement created by Transfer 5901128.8 is subject to Section 243 (a) Resource Management Act 1991
6173515.2 Encumbrance to The Selwyn District Council (Limited as to Duration) - 7.10.2004 at 9:00 am
Appurtenant hereto is a right to drain sewage created by Easement Instrument 6679963.3 - Produced 7.12.2005 at 9:00 am and entered 15.12.2005 at 9:00 am
7488400.3 Mortgage to Westpac New Zealand Limited - 7.8.2007 at 10:26 am

080936

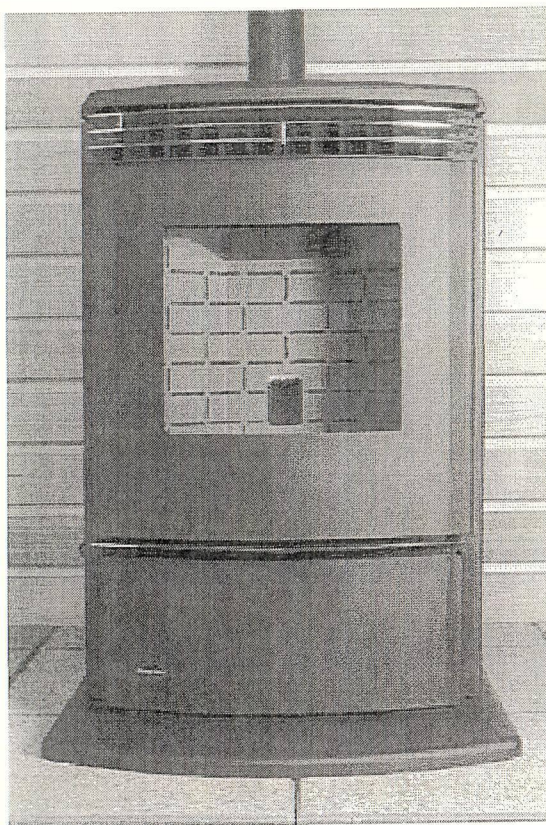
FILE COPY

PIM ONLY



Enviro EF5 Evolution FS CB


nature's flame
Renewable fuel from Solid Energy



Evolution Pellet Stove Installation Specifications

Safety testing of the EF5 Evolution Pellet Burning Heater to
AS/NZS 05/1183 Emissions: 07/1664
Flue Kit Testing to AS/NZS 2918 AppF: 05/1185

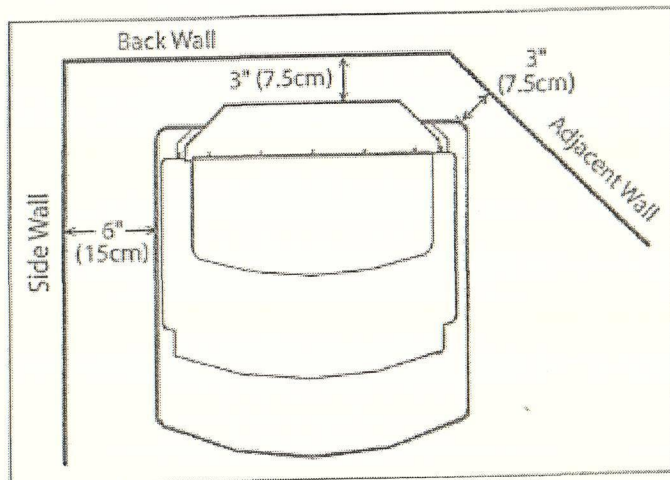
FILE COPY

PIM ONLY

080936

Clearances to Combustibles

This unit can be installed on a combustible floor due to the built in pedestal hearth pad (for example linoleum, hardwood flooring). If this unit is to be installed onto a carpeted surface, a hearth pad must be used for stability.



These dimensions are minimum clearances but it is recommended that you ensure sufficient room for servicing, routine cleaning and maintenance.

Side wall to unit	6 inches (15cm)
Back wall to unit	3 inches (7.5cm)
Corner to unit	3 inches (7.5cm)

Figure 2 EF5 Clearance to Combustibles

Alcove Clearances

This unit may be installed in an alcove. Maintain these clearances.

Minimum Alcove width	48 inches (122cm)
Minimum Alcove height	48 inches (122cm)
Minimum Alcove depth	48 inches (122cm)

Install vent at clearances specified by the vent manufacturer.

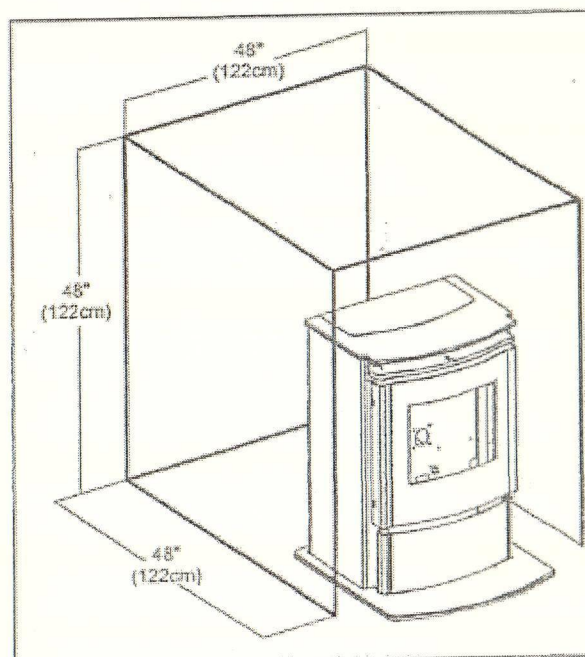


Figure 3 EF5 Minimum Alcove Size

FILE COPY

080936

PIM ONLY

Vent Termination Requirements:

IT IS RECOMMENDED THAT AN AUTHORISED DEALER/INSTALLER INSTALL YOUR PELLET STOVE.

Letter	Minimum Clearance	Description
A	24in (61cm)	Above grass, top of plants, wood, or any other combustible materials
B	48in (122 cm)	From beside/ below any door or window that may be opened
C	24in (61cm)	From above any door or window that may be opened
D	24in (61cm)	To any adjacent building, fences and protruding parts of the structure
E	24in (61cm)	Below any eave or rood overhang
F	12in (30cm)	To outside corner
G	12in (30cm)	To inside corner, combustible wall (vertical and horizontal terminations)
H	3ft (91cm) within a height of 15ft (4.5m) above the meter/ regulator assembly	To each side of center line extended above natural gas or propane meter/ regulator assembly or mechanical vent
I	3ft (91cm)	From any forced air intake of other appliance
J	12in (30cm)	Clearance to non- mechanical air supply inlet to building, or the combustion air inlet to any appliance
K	24in (61cm)	Clearance above roof line for vertical terminations
L	7ft (2.13m)	Clearance above paved sidewalk or paved driveway located on public property

Table 1 Use in conjunction with Figure 15 for allowable exterior vent termination locations

- Do not terminate the vent in any enclosed or semi-enclosed areas such as a car port, garage, attic, crawlspace, narrow walkway, closely fenced area, under a sundeck or porch, or any location that can build up a concentration of fumes such as stairwells, covered breezeway, etc.

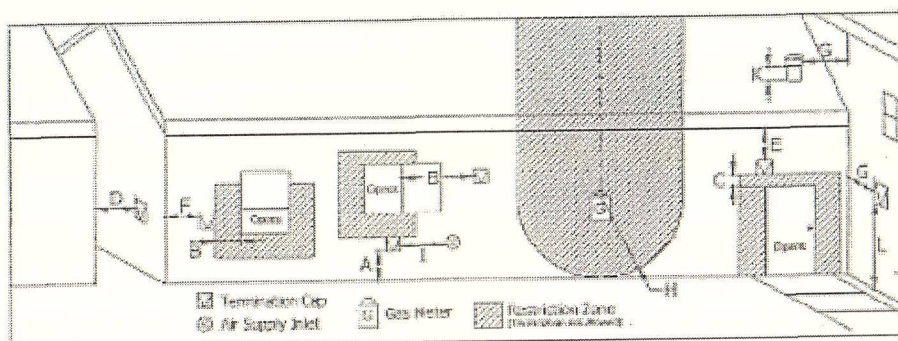


Figure 4 Use in conjunction with Table 1 for allowable exterior vent termination locations

- Vent surfaces can become hot enough to cause burns if touched by children. Non-combustible shielding or guards may be required.
- Termination must exhaust above the inlet elevation. It is recommended that at least five feet or vertical pipe be installed outside when the appliance is vented directly through a wall, to create some natural draft to prevent the possibility of smoke or odor during appliance shut down or power failure. This will keep exhaust from causing a nuisance or hazard from exposing people or shrubs to high temperatures. In any case, the safest and preferred venting method is to extend the vent through the roof vertically.

080936

FILE COPY

PIM ONLY

4. Distance from the bottom of the termination and grade is 12" (30cm) minimum. This is conditional upon the plants and nature of grade surface. The exhaust gases are hot enough to ignite grass, plants and shrubs located in the vicinity of termination. The grade surface must not be lawn.
5. If the unit is incorrectly vented or the air to fuel mixture is out of balance, a slight discoloration of the exterior of the house might occur. Since these factors are beyond the control of Sherwood Industries Ltd, we grant no guarantee against such incidents.
6. When installing an FPI the chimney must be fully lined. Unless the chimney's inside diameter is less than 6 " (15cm) around or has a cross section area of 28 inches (180.6cm), we strongly recommend lining all masonry chimneys.

NOTE: Venting terminals shall not be recessed into walls or siding

080936

FILE COPY

PIM ONLY

Installation

Appliance Dimensions

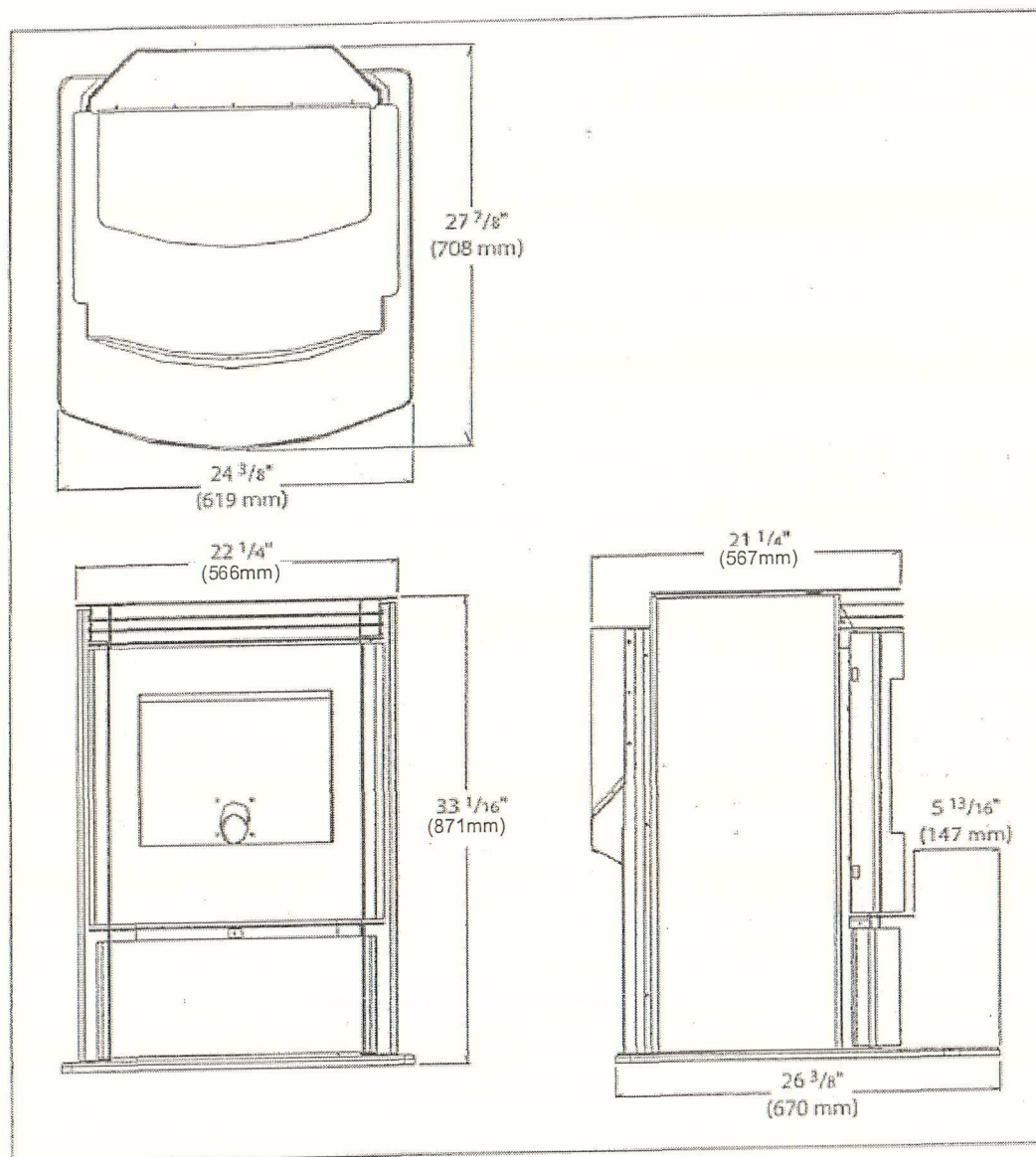


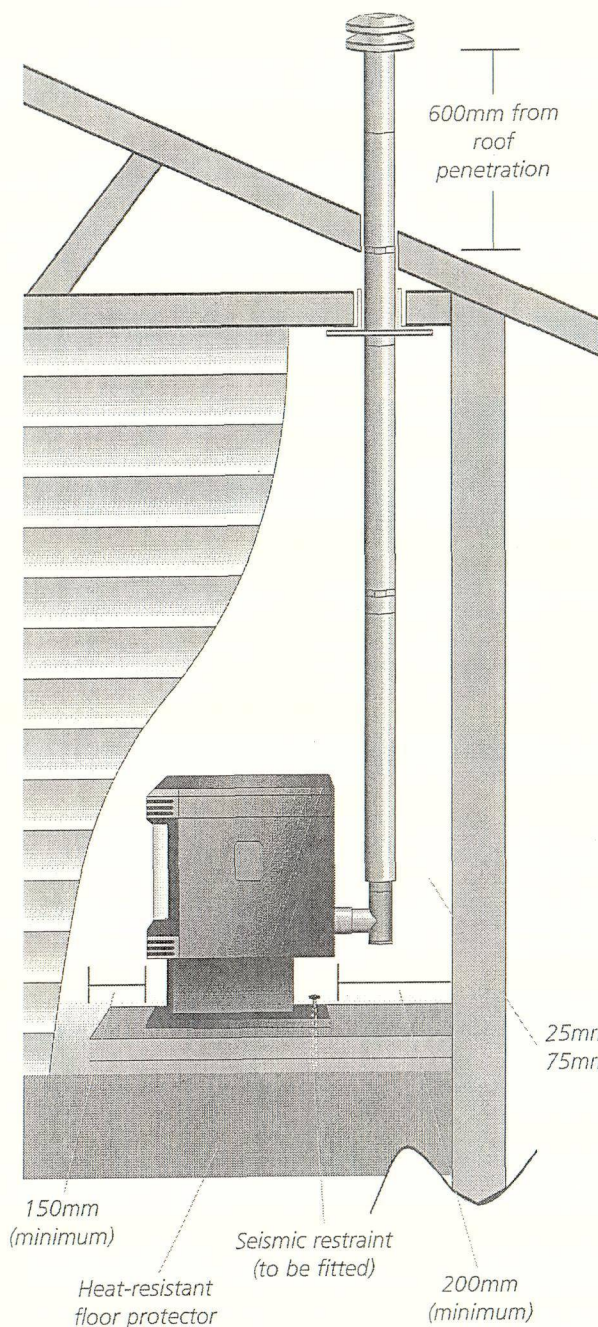
Figure 1 Dimensions of EF5

FILE COPY

PIM ONLY

50 Internal Standard Flue Kit

This flue kit may be used in new and replacement applications in rooms with stud height of 2.4m. The overall height of the flue is 3.6m. The visible flue is finished in black and the ceiling plate is white. The support angles for securing the liner to the ceiling are not shown. Kit is supplied in a carton.



Each 50 Internal Standard Flue Kit contains:-

Part No	Description	Quantity
1	Galvanised outer liner ø100mm x 900mm long	1
2	Stainless steel inner liner ø75mm x 900mm long	4
4a	Black p/coat outer liner ø100mm x 900mm long	3
5	Inner/outer flue liner spacer	2
6c	Ceiling thimble ø107mm hole	1
7c	Ceiling decor plate ø107mm hole – white	1
8	Rain cap 75mm	1
9	Rain Cap 100mm	1
10b	Elbow 45° – ø75mm stainless – black (painted)	1
12b	T-adaptor/cleanout – ø75mm – black (painted)	1
23	Support angle 950mm long – 50mm x 50mm sides	2

Note: The Davin 50 Internal Standard Flue Kit complies with AS/NZS 2918:2001 as per Applied Research Test Report 05/1185, dated 15 September 2005.

All fires must be installed by a qualified installer as per the manufacturer's instructions and AS/NZS2918:2001.



P.O. Box 687, NELSON,
NEW ZEALAND

PHONE (03) 547 7347
FAX (03) 547 2909
EMAIL: applied@ts.co.nz
WEB: www.appliedresearch.co.nz

**Opinion on Recommended Roof Penetration and Flashing
for Envirofire Wood Pellet Burning Heaters**

Customer: Natures Flame
Solid Energy Renewable Fuels Ltd.
P.O. Box 11-259
CHRISTCHURCH

Report 04/1076

FILE COPY

PIM ONLY

October 2004

080936



P.O. Box 687, NELSON,
NEW ZEALAND

PHONE (03) 547 7347

FAX (03) 547 2909

EMAIL: applied@rs.co.nz

WEB: www.appliedresearch.co.nz

Report 04/1076

October 7th, 2004

Page 1/3

Customer: Natures Flame
Solid Energy Renewable Fuels Ltd.
P.O. Box 11-259
CHRISTCHURCH

Attention: Trevor Hale

**Opinion on Recommended Roof Penetration and Flashing
for Envirofire Wood Pellet Burning Heaters**

Natures Flame has asked for our opinion on the suitability of butynol flashing for use as a roof penetration sealant for the Envirofire range of wood pellet burning heaters.

Testing of the Windsor, EFII, EFIII and EFV heaters by us has shown that flue temperatures under maximum output conditions (maximum fuel feed rate) were no higher than approximately 200°C when measured at a height of 2m above the floor. Surface temperatures of the fluepipe itself were never high enough to require combustible walls beneath the ceiling to be any further away than 50mm to comply with the temperature requirements of AS/NZS2918 (65°C maximum).

When using a shielded roof penetration system as recommended by Natures Flame (100mm outer around the 75mm fluepipe) significant cooling will occur due to both the insulating effect of the outer shield and the cooling air flow generated inside the shielded system.

Based on the safe clearance results for this range of heaters and the cooling effect of the shielded flue system, it is our opinion that it will be safe to use a butynol flashing material to seal the flue system to the outer roof for the Envirofire range of heaters. We would expect the surface temperature of the 100mm outer shield to be significantly lower than the quoted limits for butynol (rated to as high as 100°C and for continuous use at 70°C).

Any modification to the heaters as tested may invalidate these opinions.

Prepared By: C.J. Mildon

A handwritten signature in black ink, appearing to read 'CJ Mildon', written over a horizontal line.

Approved By: C.J. Mildon

A handwritten signature in black ink, appearing to read 'CJ Mildon', written over a horizontal line.

Release Date:

A handwritten signature in black ink, appearing to read 'CJ Mildon', written over a horizontal line.

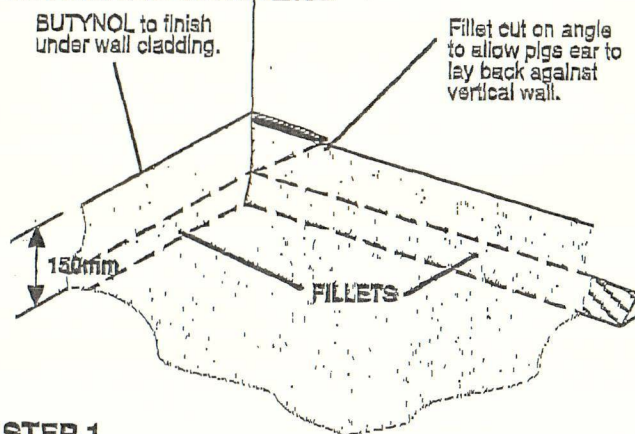
This report must not be reproduced except in full. Results are based on materials and information supplied by the client. Applied Research Services Ltd shall not be liable in respect of any loss or damage (including consequential loss or damage) resulting from use of reports prepared by them. Results issued in electronic form are subject to confirmation by issue of a final written report.

FILE COPY

PIM ONLY

080936

INTERNAL CORNERS



STEP 1

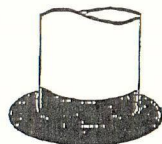
Without cutting BUTYNOL simply fold a 'pig's ear' corner as shown. the angle fold should be behind the main sheet.

NOTE: Fillets must be used on all internal corners.

FLASHING - EXISTING PIPE

STEP 1

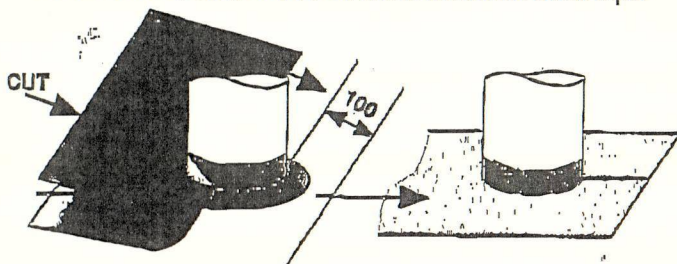
Under flash pipe with 100mm BUTYNOL flashing tape.



STEP 2

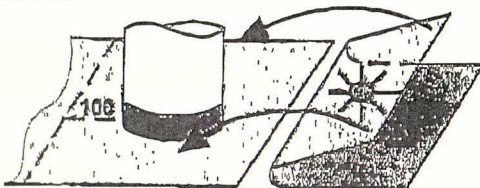
Bond BUTYNOL to 100mm past pipe.

N.B. When flashing black BUTYNOL use black detail tape.



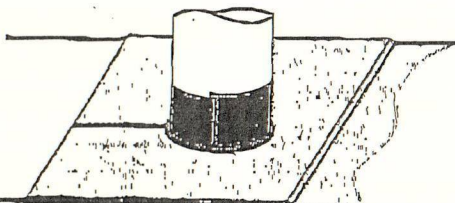
STEP 3

Bond continuation of BUTYNOL to overlap base sheet and beyond pipe 100mm.



STEP 4

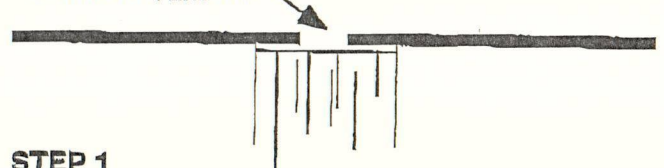
Apply another collar of flashing tape, then bond final 70mm cover strip. **DO NOT STRETCH STRIP.**



N.B. Flashing tape **MUST NOT** be left exposed. Cover strip must be BUTYNOL. When detail tape is used a cover strip of BUTYNOL is not required.

FLASHING - NEW PIPE OR FLUES

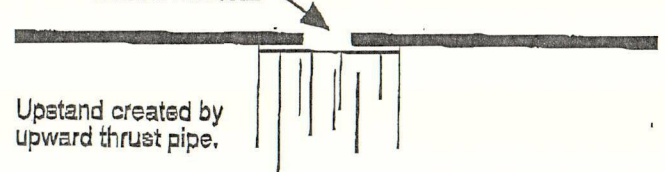
BUTYNOL APERTURE



STEP 1

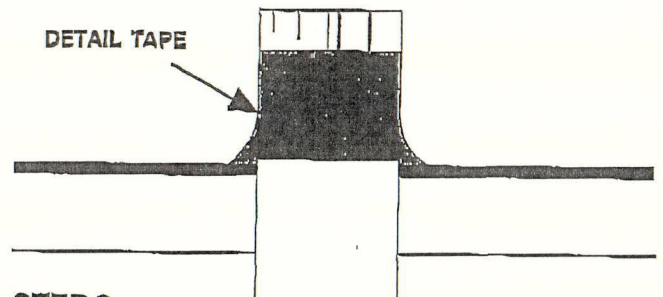
Pipe is raised through smaller diameter hole in BUTYNOL, forcing edge upwards to create upstand

BUTYNOL APERTURE



Upstand created by upward thrust pipe.

DETAIL TAPE

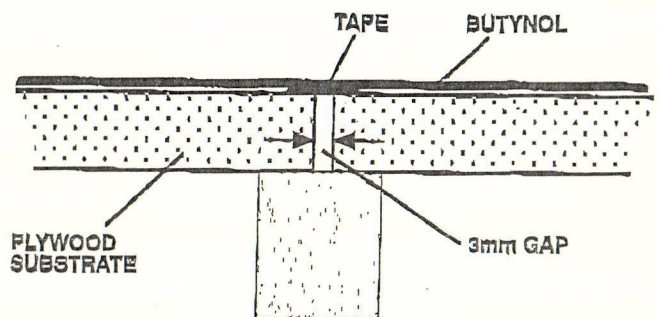


STEP 2

After pulling pipe down approximately 1 cm to sharpen corner, tape upstanding BUTYNOL to pipe using WA98 adhesive and detail tape. Upstand may be mechanically secured using a steel band.

N.B. If flashing tape is used it **MUST NOT** be left exposed. A cover strip of BUTYNOL must be applied over the flashing tape to finish.

TAPING SUBSTRATE SHEETS



All joints between substrate sheets of Ply should be taped to prevent stressing of the BUTYNOL in case of marked timber movement.

FILE COPY

PIN ONLY

080936



ENGINEERED SOLUTIONS
FOR TILING, FLOORING & WATERPROOFING

BUTYNOL TEMPERATURE RESISTANCE

Butynol is a vulcanised rubber membrane produced from Butyl rubber.

Butyl rubber has, due to its unique chemical make up, both excellent weatherability and heat resistance.

Butynol is used extensively outdoors in waterproofing and management systems. It regularly reaches temperatures in roofing applications of 60 to 80 deg C and in some parts of the world more extreme temperatures.

Butynol, provided it is not stressed, has a temperature range from -30 deg C to as high as 100 deg C. and will tolerate continuous use up to a maximum of 70 deg C.

A.F. Macdonald
Manufacturing Manager (Ardex NZ Ltd.)



080936

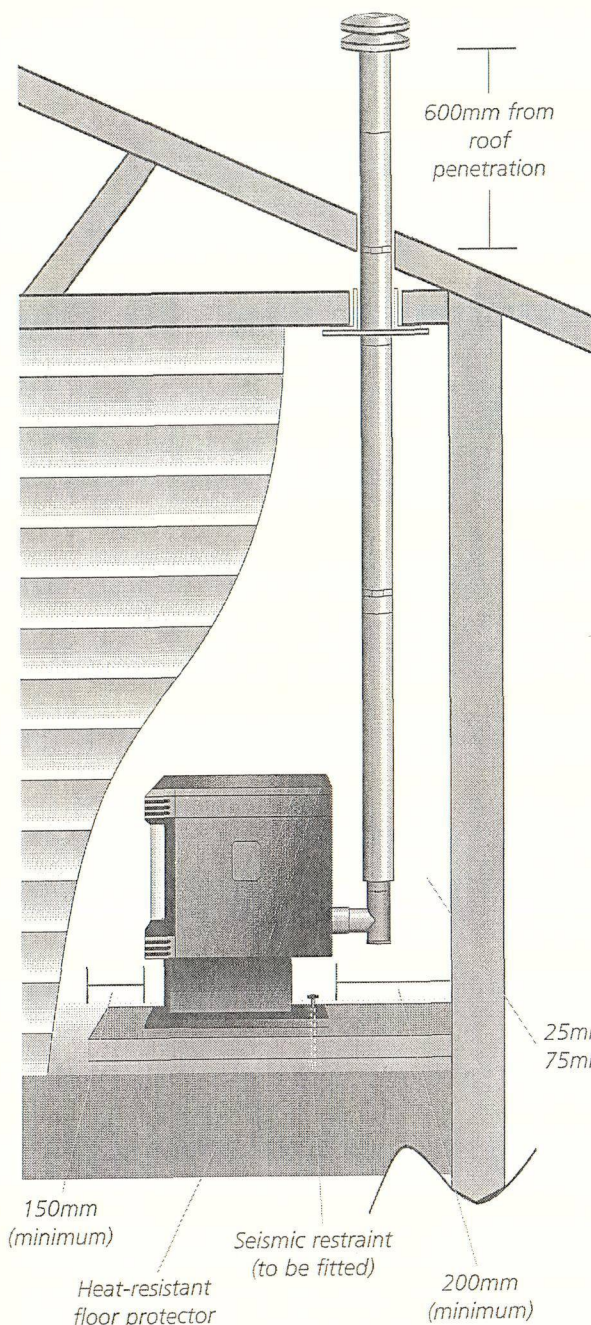
Ardex New Zealand Limited

Head Office - Sales Branch: 32 Lane Street, PO Box 19549, Woolston, Christchurch, New Zealand Telephone (03) 384 3029 Facsimile (03) 384 9779
Sales Branch: Unit 7, Cain Park, Cain Road, PO Box 112044, Penrose, Auckland, New Zealand Telephone (09) 580 0005 Facsimile (09) 579 9963
Sales Branch: 7 Hutt Road, PO Box 38571, Petone, Wellington, New Zealand Telephone (04) 568 5949 Facsimile (04) 568 6376



50 Internal Standard Flue Kit

This flue kit may be used in new and replacement applications in rooms with stud height of 2.4m. The overall height of the flue is 3.6m. The visible flue is finished in black and the ceiling plate is white. The support angles for securing the liner to the ceiling are not shown. Kit is supplied in a carton.

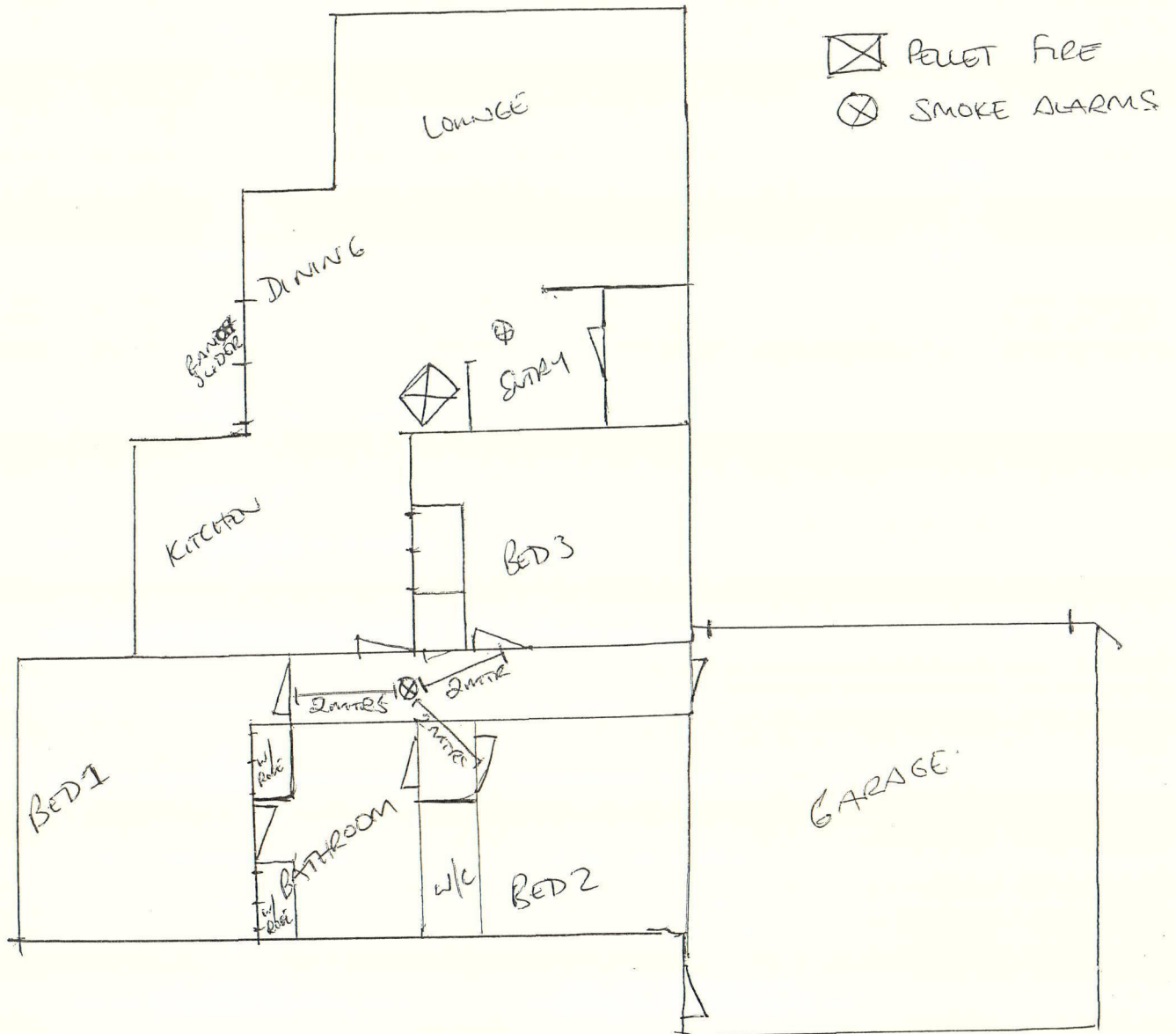


Each 50 Internal Standard Flue Kit contains:-

Part No	Description	Quantity
1	Galvanised outer liner ø100mm x 900mm long	1
2	Stainless steel inner liner ø75mm x 900mm long	4
4a	Black p/coat outer liner ø100mm x 900mm long	3
5	Inner/outer flue liner spacer	2
6c	Ceiling thimble ø107mm hole	1
7c	Ceiling decor plate ø107mm hole – white	1
8	Rain cap 75mm	1
9	Rain Cap 100mm	1
10b	Elbow 45° – ø75mm stainless – black (painted)	1
12b	T-adaptor/cleanout – ø75mm – black (painted)	1
23	Support angle 950mm long – 50mm x 50mm sides	2

Note: The Davin 50 Internal Standard Flue Kit complies with AS/NZS 2918:2001 as per Applied Research Test Report 05/1185, dated 15 September 2005.

All fires must be installed by a qualified installer as per the manufacturer's instructions and AS/NZS2918:2001.



42A GEORGE ST
ROLLESTON

FILE COPY

PIM ONLY

080936

PIM DOCUMENTS TO BE ATTACHED TO THIS PAGE.

PROJECT INFORMATION MEMORANDUM RECORD

LEGAL

DESCRIPTION: Lot 2 DP 359723

VALUATION NO: 24051 - 336 - 01

PROPERTY
ADDRESS:

42A George St, Rolleston

CONSENT NO: 080936P

OWNER:

Battaglione

PROJECT

DESCRIPTION: SFH

AGENT:

—